

ELY STREET

Site Plan

Zoned R2 - Low Density Residential

Performance Criteria

• Site Area

Total area of site = 929.000 sq.m (by Calculation)

• Gross Floor Area

Calculated excluding external walls, first floor stair voids & car parking (garages): -

Dwelling A = 209.600 sq.m
Dwelling B = 211.120 sq.m

Total Gross Floor Area = 420.720 sq.m

• Floor Space Ratio

Maximum allowable = 0.50 : 1 or 464.500 sqm
FSR proposed = 0.453 : 1 or 420.720 sqm

• Individual Floor Space Ratio - Dwelling A

FSR proposed = 0.451 : 1 or 209.600 sqm

• Individual Floor Space Ratio - Dwelling B

FSR proposed = 0.455 : 1 or 211.120 sqm

• Carparking Requirement

Required 2 spaces per 3 + bedrooms

Dwelling A	Required	2 spaces	Provided
Dwelling B	2 spaces	2 spaces	

• Private Open Space

Minimum 80sqm required with 5.0m minimum dimensions throughout

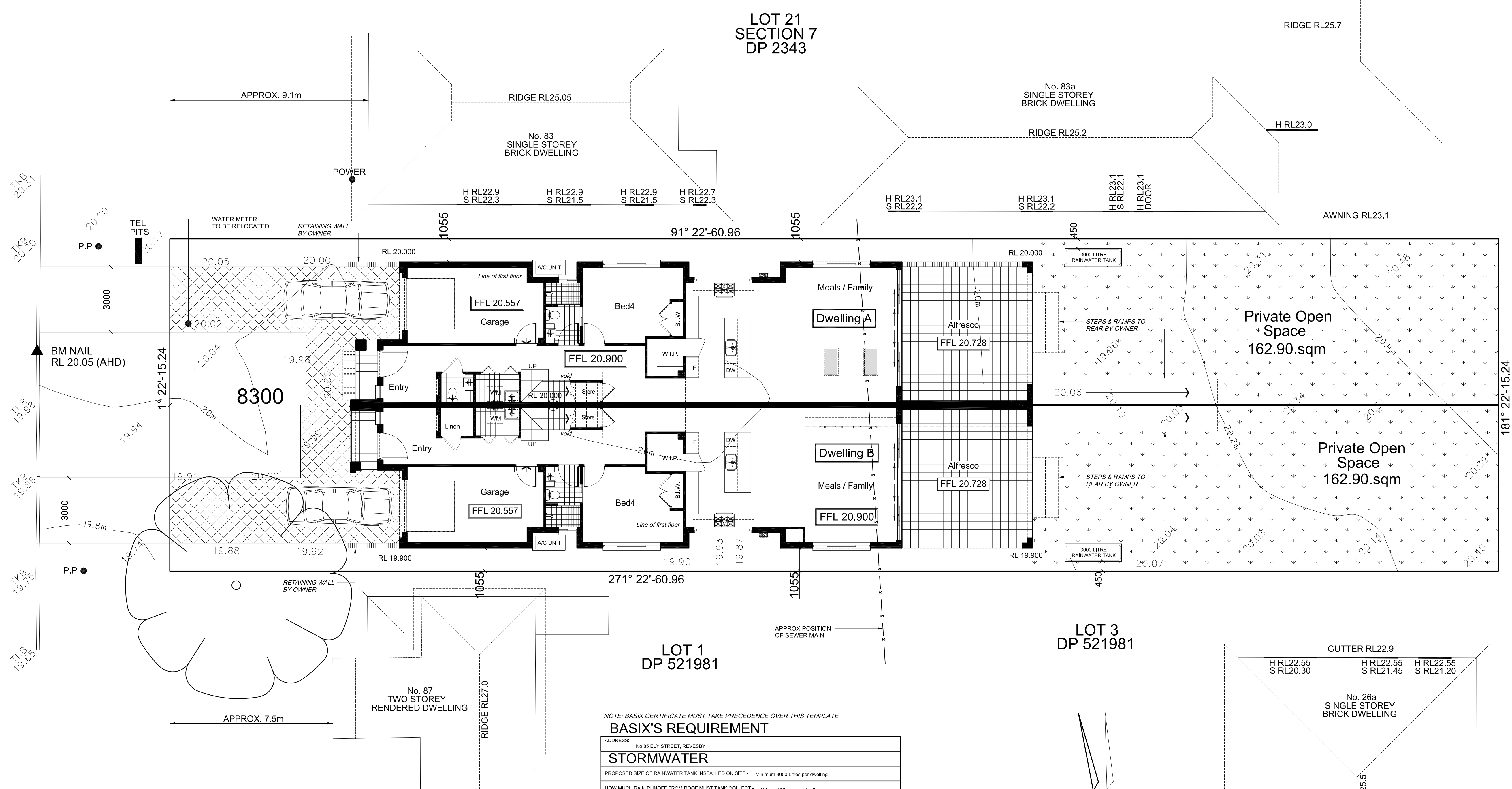
	Required	Provided
Dwelling A	80,000 sq.m	162,900 sqm
Dwelling B	80,000 sq.m	162,900 sqm

• Front Setback Landscaped Area

Minimum 45% required of front setback area of 147.900 sqm

Required 45.0% of front setback or 66.555 sq.m
Provided 45.1% of front setback or 66.740 sq.m

LOT 21
SECTION 7
DP 2343



NOTE: BASIX CERTIFICATE MUST TAKE PRECEDENCE OVER THIS TEMPLATE

BASIX'S REQUIREMENT

ADDRESS: No.85 ELY STREET, REVESBY
STORMWATER
PROPOSED SIZE OF RAINWATER TANK INSTALLED ON SITE - Minimum 3000 Litres per dwelling
HOW MUCH RAIN RUNOFF FROM ROOF MUST TANK COLLECT - At least 156sqm per dwelling
RAINWATER TANK MUST SERVICE - All toilets, cold water washing machine taps & at least one outdoor tap per dwelling
WATER
SHOWERHEAD RATING - 3 star (> 7.5 but <= 9 L/min)
TOILET FLUSHING SYSTEM RATING - 4 star
KITCHEN TAP RATING - 5 star
BATHROOM TAP RATING - 5 star
THERMAL COMFORT / SIMULATION METHOD
PLEASE SEE ABSA NATHERS SPECIFICATION TABLE, CERTIFICATION NUMBER - 0011656570
ENERGY
ACTIVE COOLING FOR LIVING ROOMS - 1 PHASE DUCTED AIR CON / EER 3.0 - 3.5
ACTIVE COOLING FOR BED ROOMS - 1 PHASE DUCTED AIR CON / EER 3.0 - 3.5
ACTIVE HEATING FOR LIVING ROOMS - 1 PHASE DUCTED AIR CON / EER 3.0 - 3.5
ACTIVE HEATING FOR BED ROOMS - 1 PHASE DUCTED AIR CON / EER 3.0 - 3.5
WHAT TYPE OF HOT WATER SYSTEM MUST BE INSTALLED - 6 STAR GAS INSTANTANEOUS (All dwellings)
DOES THE KITCHEN HAVE NATURAL LIGHTING? YES (both dwellings)
DO BATHROOMS HAVE NATURAL LIGHTING? YES (3 off to both dwellings)
VENTILATION DETAILS? At least 1 Bathroom per dwelling: Ducted exhaust fan; Operation control: manual switch on / off Laundries: Ducted exhaust fan; Operational control: interlocked to light Kitchens: Ducted rangehood; Operation control: manual switch on / off
WHAT TYPE OF COOKTOP AND OVEN SHALL BE INSTALLED? Gas Cooktop & Electric Oven (both dwellings)
IS THERE A OUTDOOR CLOTHES DRYING AREA? YES

TO COMPLY WITH BASIX CERTIFICATE NUMBER : 1779746M

REFER TO NATHERS CERTIFICATES FOR ARTIFICIAL LIGHTING REQUIREMENTS
MINIMUM 6.6kW SOLAR PV SYSTEM TO BE INSTALLED TO DWELLING A

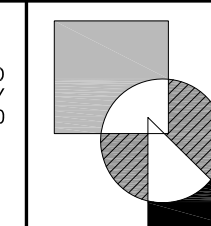
REVISION	DATE	DRAWN BY	COMMENTS
A	22.11.24	GD	DA Presentation Plans
B	04.12.24	GD	Client Amendments
C	12.12.24	CR	Client Amendments
D	16.12.24	CR	Client Amendments
E	08.02.25	GD	Council Submission Plans

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www.masterton.com.au
HEAD OFFICE 02 9601 4006
SALES CENTRE 1300 4HOMES

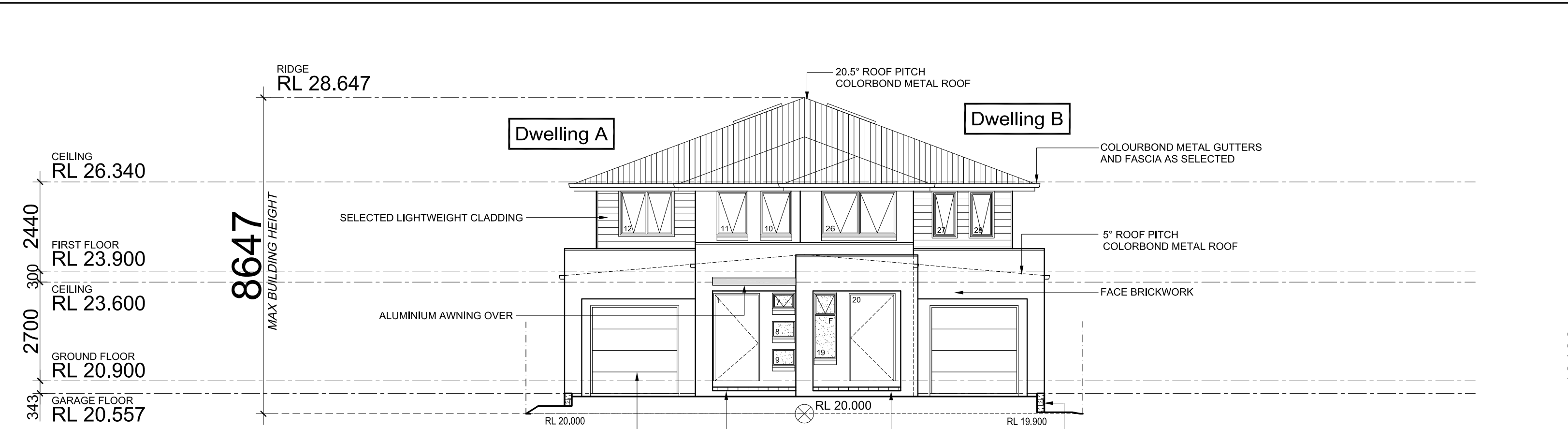


Suite 1, Level 1
208 - 210 Northumberland St,
Liverpool NSW 2170

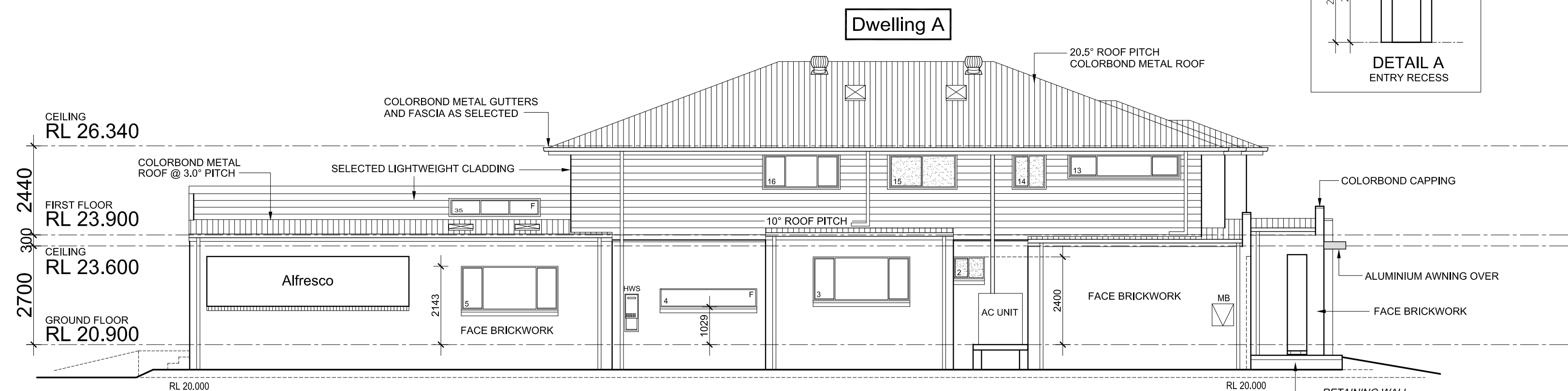
Email: mail@r.net.au Phone: 9602 7700 Fax: 9734 6633

Site Plan, Calculations & BASIX Commitments
PROPOSED ATTACHED DUAL OCCUPANCY

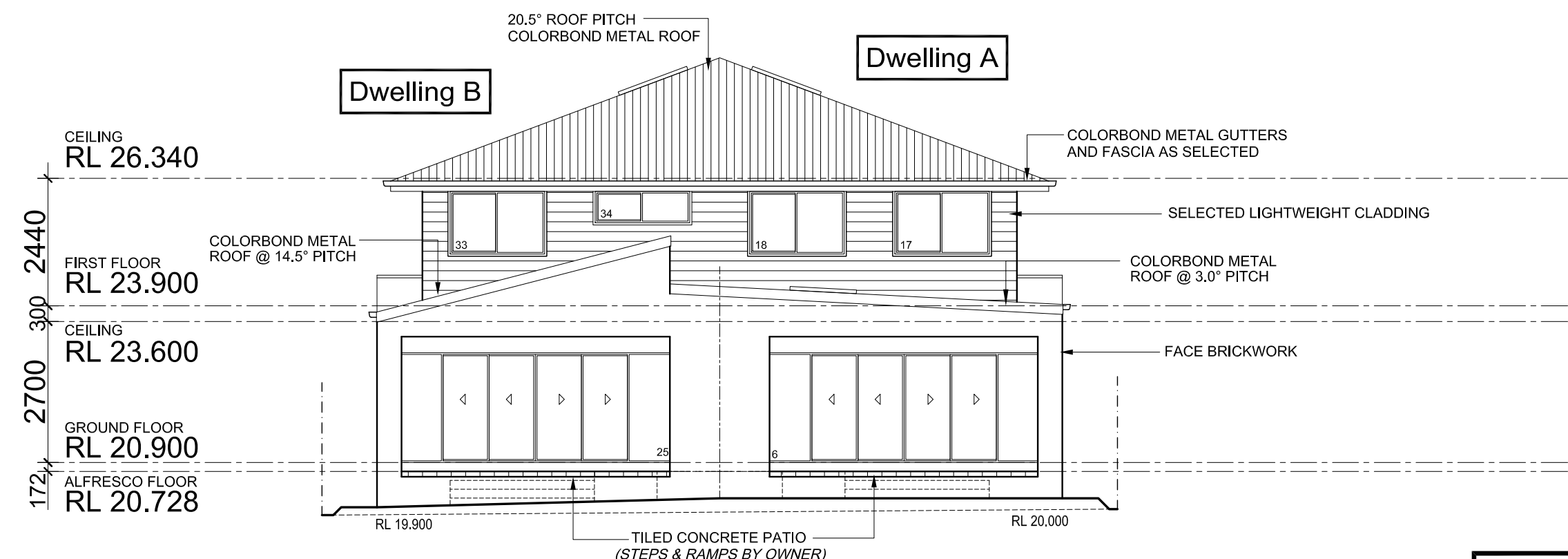
CLIENT: Mr Leung & Ms Chu
SITE ADDRESS: No.85 (Lot 22, Section 7 in DP 2343) Ely Street,
SUBURB: Revesby
COUNCIL: Canterbury Bankstown
REVISION: E DATE: 08.02.2025
SCALE: 1 : 100
JOB No.: RL 6098
SHEET: 1 of 2



Front (Western) Elevation

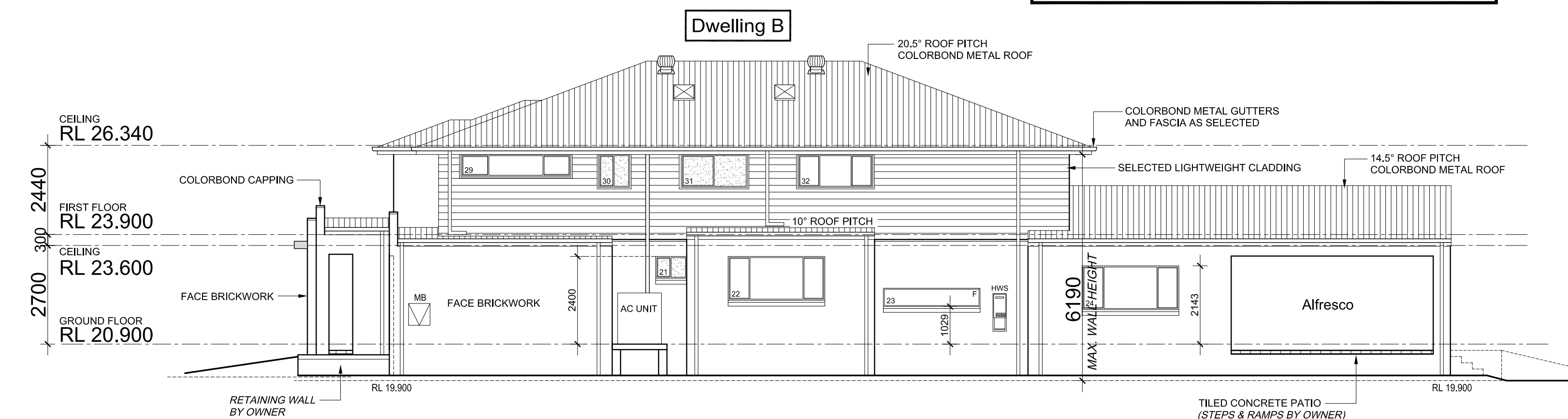


Left (Northern) Elevation

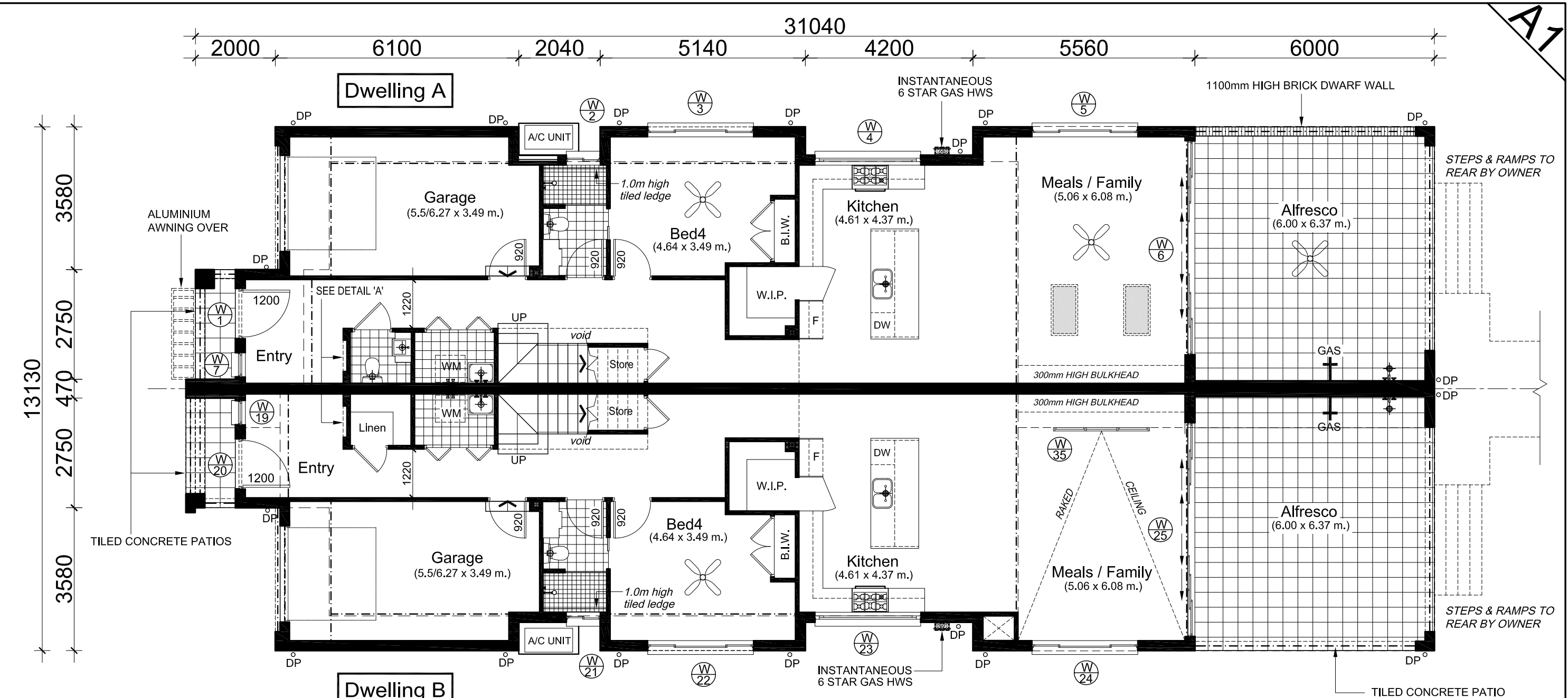


Rear (Eastern) Elevation

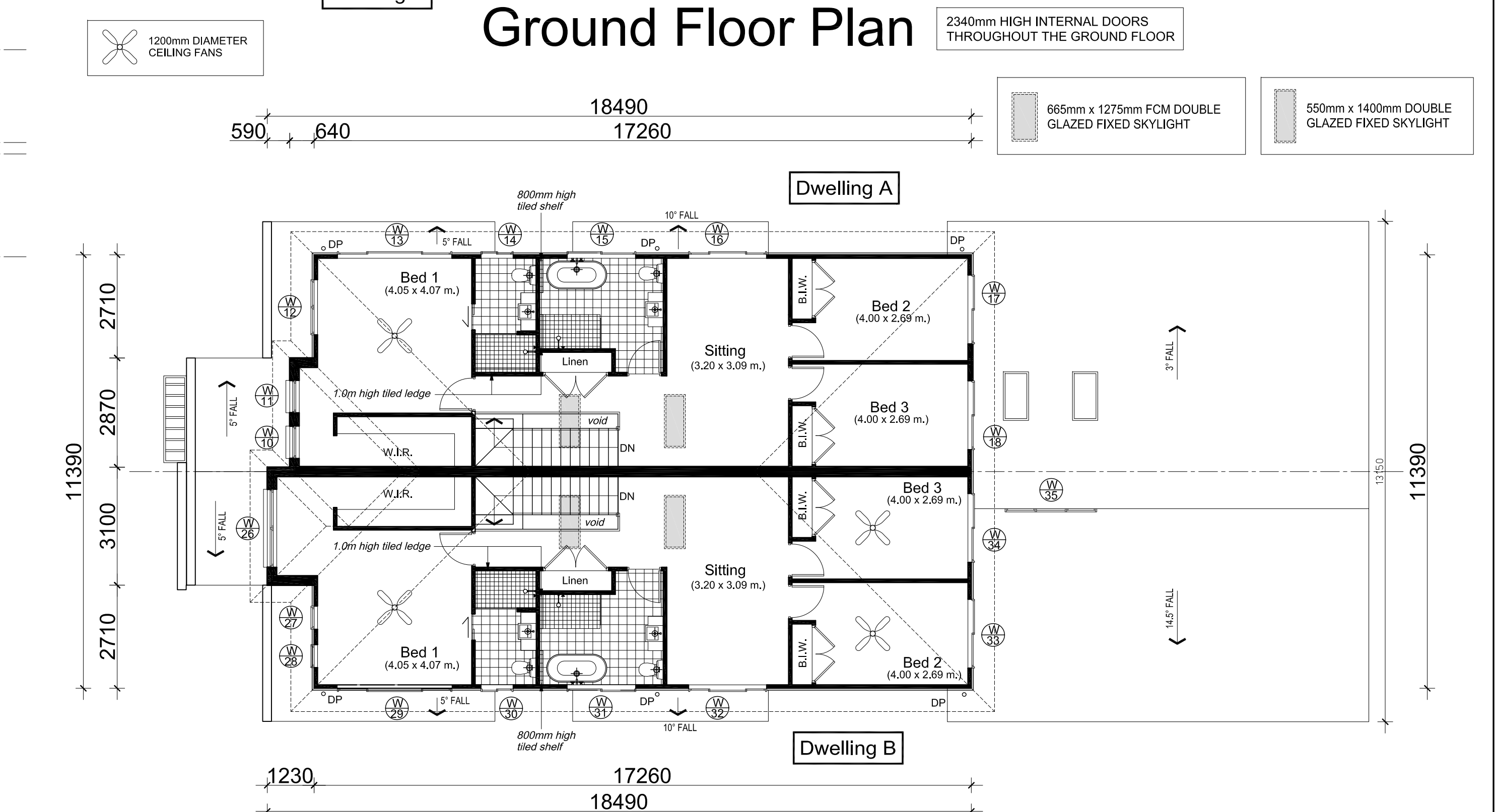
100 Year ARI Flood Level
RL 20.400 AHD



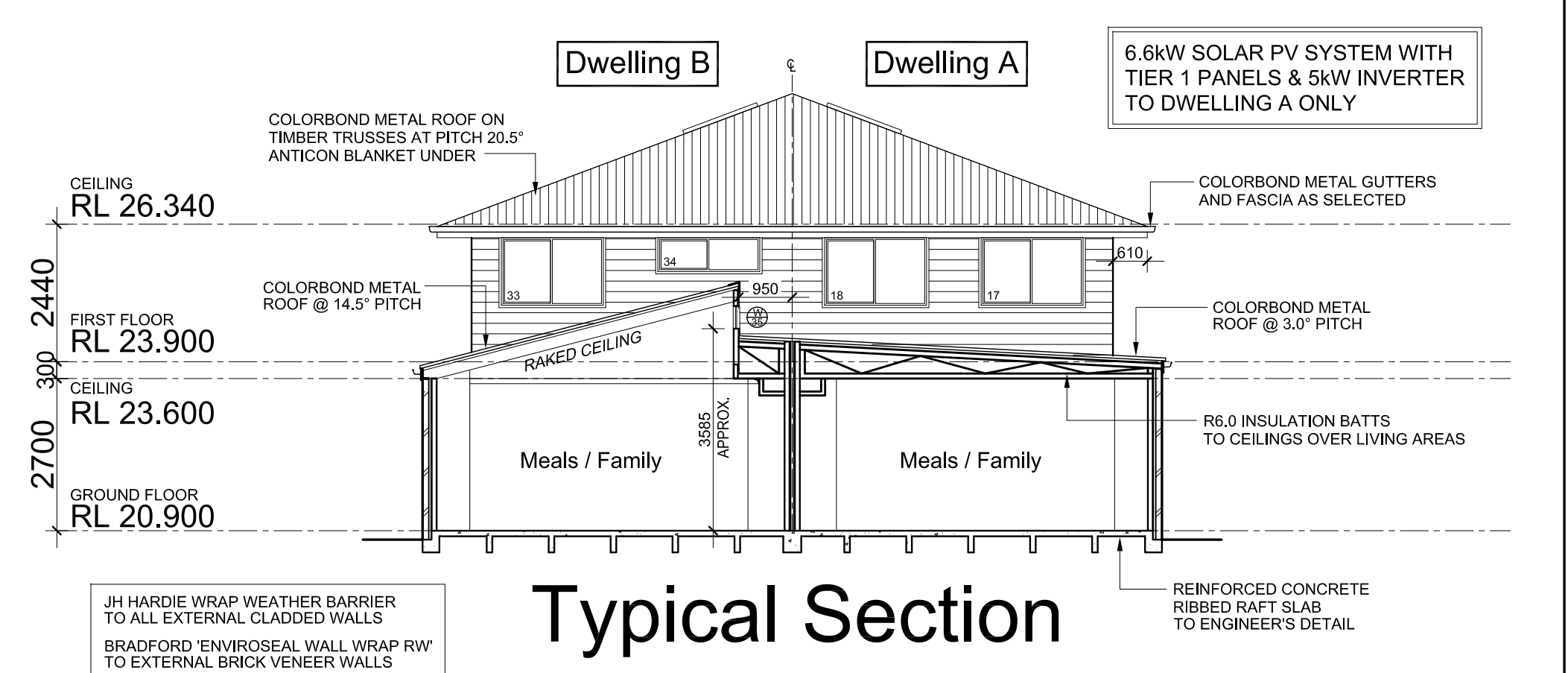
Right (Southern) Elevation



Ground Floor Plan



First Floor Plan



Typical Section

LOWE CLEAR VIRIDIAN 4mm SMARTGLASS SP10 TO ALL WINDOWS & DOORS (EXCLUDING WET AREAS)				
No	TYPE	HEIGHT	WIDTH	GLAZING/REMARK
1	SW0609	2388	1260	TIMBER ENTRY FRAME
2	SW1927	600	850	SLIDING/TRANSLUCENT LAMINATE
3	FW0526	1500	2650	SLIDING
4	FW0526	500	2650	FIXED
5	SW1927	1500	2650	SLIDING
6	AS02154-6P	2100	5364	ALFRESCO (STACKER) DOOR
7	FW0405	429	610	AWNING/TRANSLUCENT LAMINATE
8	FW0405	429	610	FIXED/TRANSLUCENT LAMINATE
9	FW0405	429	610	FIXED/TRANSLUCENT LAMINATE
10	AW1209	1200	850	AWNING
11	AW1209	1200	850	AWNING
12	AW1209	1200	850	AWNING
13	SW0630	600	2010	SLIDING
14	SW0630	857	1810	SLIDING/TRANSLUCENT LAMINATE
15	SW0630	857	1810	SLIDING/TRANSLUCENT LAMINATE
16	SW1218	1500	1810	SLIDING
17	SW1218	1500	1810	SLIDING
18	AW1805	1800	610	AWNING/TRANSLUCENT LAMINATE
19	AW1805	1800	610	AWNING/TRANSLUCENT LAMINATE
20	SW0609	2388	1260	TIMBER ENTRY FRAME
21	SW1927	600	850	SLIDING/TRANSLUCENT LAMINATE
22	FW0526	1500	2650	SLIDING
23	FW0526	500	2650	FIXED
24	SW1927	1500	2650	SLIDING
25	AS02154-6P	2100	5364	ALFRESCO (STACKER) DOOR
26	AW1209	1200	850	AWNING
27	AW1209	1200	850	AWNING
28	AW1209	1200	850	AWNING
29	SW0630	600	2010	SLIDING
30	SW0630	857	1810	SLIDING/TRANSLUCENT LAMINATE
31	SW0630	857	1810	SLIDING/TRANSLUCENT LAMINATE
32	SW1218	1500	1810	SLIDING
33	SW1218	1500	1810	SLIDING
34	FW0405	429	610	FIXED

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MASTERTON HOMES
MASTERTON HOMES PTY LTD
CNR SAFFORD & HUME HWY
WARWICK FARM NSW 2170
Lic. No.: 35558C
ABN: 52 002 873 047
www.masterton.com.au
HEAD OFFICE 02 9601 4068
SALES CENTRE 1300 4HOMES

RESIDENTIAL LOGISTICS P/L
Suite 1, Level 1
208-210 Northumberland St,
Liverpool NSW 2170
Email: mail@r.net.au Phone: 9602 7700 Fax: 9734 6633

Floor Plans, Elevations & Window Schedule
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